



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input checked="" type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Request preliminary plat review to create 22 new lots from 2 existing tracts, dedicate right-of-way, grant PUEs along lot fronts, and vacate blanket drainage easement [5]

APPLICATION INFORMATION

Applicant/Owner:	Sonata Green Owner, LLC		Phone:
Address:	Golf Course Rd, Suite D3-338		Email:
City:	Albuquerque	State:	NM
		Zip:	87120
Professional/Agent (if any):	CSI - Cartesian Surveys, Inc.		Phone:
			505-896-3050
Address:	PO Box 44414		Email:
			cartesianryan@gmail.com
City:	Rio Rancho	State:	NM
		Zip:	87174
Proprietary Interest in Site:	List all owners:		

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Tract G // Tract D		Block:	Unit:	Unit 1 // Unit 3
Subdivision/Addition:	Durango		MRGCD Map No.:	UPC Code:	See Attached Letter
Zone Atlas Page(s):	C-09-Z	Existing Zoning:	PD	Proposed Zoning	
# of Existing Lots:	2	# of Proposed Lots:	22	Total Area of Site (Acres):	3.8066

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Weminuche Rd NW	Between:	Strater St NW	and:	Valle Jardin Ln NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2019-001997; PS-2022-00105 (sketch)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date:	10/07/2022
Printed Name:	Ryan J. Mulhall	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

☒ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

☐ MAJOR AMENDMENT TO PRELIMINARY PLAT

☐ BULK LAND SUBDIVISION

N/A Interpreter Needed for Meeting? N/A if yes, indicate language: _____

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S1 at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

☒ Sign Posting Agreement

N/A Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)

☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)

☒ Proof of Sketch Plat per IDO Section 14-16-6-6(L)(2)(b)

☒ Required notices with content per IDO Section 14-16-6-4(K)(1)

☒ Office of Neighborhood Coordination notice inquiry response

☒ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

N/A Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

☒

☒ Sidewalk Exhibit and/or cross sections of proposed streets

☒ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use

☒ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)

N/A Landfill disclosure statement on the plat per IDO Section 14-16-6-4(S)(5)(d)(2).(d.) if site is within a designated landfill buffer zone

☒ Proposed Infrastructure List

☐ EXTENSION OF PRELIMINARY PLAT

☐ INFRASTRUCTURE LIST EXTENSION OR AN INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION *For temporary sidewalk deferral extension, use Form V.*

☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S1 at the front followed by the remaining documents in the order provided on this form.

☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ Letter of authorization from the property owner if application is submitted by an agent

☐ Letter describing, explaining, and justifying the request per IDO Section 14-16-6-4(X)(4)

☐ Preliminary Plat or site plan

☐ Copy of DRB approved infrastructure list

FORM S: PRE-APPROVALS/SIGNATURES

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: Tract G of Durango Unit 1 and Tract D of Durango Unit 3, located on
Weminuche Rd between Strater St NW or Valle Jardin Ln NW

Job Description: Preliminary Plat for Major subdivision, creating 22 lots from 2 existing tracts

☐ **Hydrology:**

• Grading and Drainage Plan	<u>X</u>	Approved	<u> </u>	NA
• AMAFCA	<u> </u>	Approved	<u>X</u>	NA
• Bernalillo County	<u> </u>	Approved	<u>X</u>	NA
• NMDOT	<u> </u>	Approved	<u>X</u>	NA
• MRGCD	<u> </u>	Approved	<u>X</u>	NA

Renee C. Brissette
Hydrology Department

10/06/22

Date

☐ **Transportation:**

• Traffic Circulations Layout (TCL)	<u> </u>	Approved	<u>X</u>	NA
• Traffic Impact Study (TIS)	<u> </u>	Approved	<u>X</u>	NA
• Neighborhood Impact Analysis (NIA)	<u> </u>	Approved	<u>X</u>	NA
• Bernalillo County	<u> </u>	Approved	<u>X</u>	NA
• NMDOT	<u> </u>	Approved	<u>X</u>	NA

Ernest Armijo
Transportation Department

10/5/2022

Date

☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

• Availability Statement/Serviceability Letter	<u>X</u>	Approved	<u> </u>	NA
• ABCWUA Development Agreement	<u>X</u>	Approved	<u> </u>	NA
• ABCWUA Service Connection Agreement	<u> </u>	Approved	<u>X</u>	NA

Edwin Bergeron
ABCWUA

9/23/2022

Date

☐ Infrastructure Improvements Agreement (IIA*) Approved

☐ AGIS (DXF File) Approved

☐ Fire Marshall Signature on the plan Approved

☐ **Signatures on Plat**

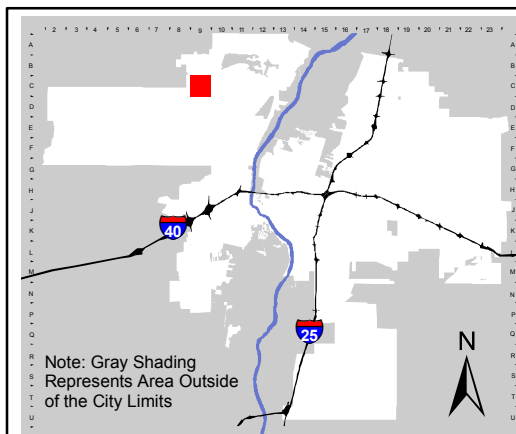
• Owner(s)	<u> </u>	Yes	
• City Surveyor	<u> </u>	Yes	
• AMAFCA**	<u> </u>	Yes	<u> </u> NA
• NM Gas**	<u> </u>	Yes	
• PNM**	<u> </u>	Yes	
• COMCAST**	<u> </u>	Yes	
• MRGCD**	<u> </u>	Yes	<u> </u> NA

* Prior to Final Plat submittals and/or Final Site Plan approval submittals (include a copy of the recorded IIA)

** Signatures required for **Final Plat** application and not required for **Preliminary Plat** application



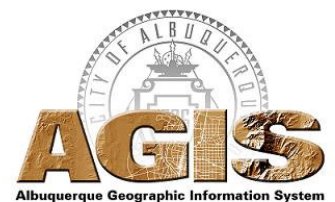
For more current information and details visit: www.cabq.gov/gis



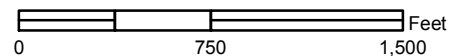
Address Map Page:

C-09-Z

Map Amended through:
3/17/2017



These addresses are for informational purposes only and are not intended for address verification.



John Murtagh
8201 Golf Course Road NW #D3-338
Albuquerque, NM 87120

City of Albuquerque
600 2nd Street NW,
Albuquerque, NM 87102

RE: Letter of Authorization for Subdivision Plat

To whom it may concern,

I, John Murtagh, Manager for Sonata Green Owner, LLC, do hereby give authorization to Cartesian Surveys Inc. to act as our agent in regards to the subdivision plat for Tract G of Durango Unit 1 and Tract D of Durango, Unit 3 located at Weminuche Road NW between Strater Street NW and Valle Jardin Lane NW. The agent shall have the authority to act on behalf of our company for the subdivision platting action, vacation of easements or any deviations, waivers, or certificates associated with the project.

Thank You,



John Murtagh, Manager
Sonata Green Owner, LLC

10/07/2022

Date

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

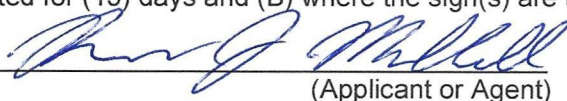
4. TIME

Signs must be posted from 10/18/2022 To 11/17/2022

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(Applicant or Agent)

10/07/2022
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2019-001996

CSI-Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

October 7, 2022

Development Review Board
City of Albuquerque

Re: Preliminary Plat Review for Proposed Subdivision of Tract G, Durango Unit 1 and Tract D, Durango Unit 3

Members of the Board:

Cartesian Surveys is acting as an agent for Sonata Green Owner, LLC, and we request a preliminary plat review to create twenty-two (22) new lots from two (2) existing tracts by subdivision of Tract G, Durango Unit 1 and Tract D, Durango Unit 3. The subdivision also intends to grant a roadway connecting the existing portions of Weminuche Road NW. The property is located along Weminuche Road NW just north of Tierra Antigua Elementary School. The property is currently zoned as MX-M (Mixed Use Moderate Intensity) and Tract D is the small portion in the southwest zoned MX-T (Mixed Use Transition). The subdivision was heard for sketch plat review on May 25, 2022 under project number PR-2019-001996, Application number PS-2022-00105.

ABCWUA

1. Serviceability Letter #150214 has been executed and applies to this site. It provides the conditions for service as incorporated into Development Agreement R-15-14.
2. The applicable Development Agreement has a seven year expiration. This agreement will expire on 2/25/2023. This agreement shall either be extended or renegotiated prior to construction of Water Authority infrastructure set to occur after the expiration date.
3. Pro rata is not owed for this property.

Noted

4. Utility Plan:
 - a. Provide a utility plan that indicates the location of proposed services.
 - b. Show existing public water and public sewer mains and any associated easements on the utility plan.
 - c. Dimension the public water and public sewer easements on the utility plan.
 - d. Coordinate with NM 811 to field locate and survey the existing public water and sewer infrastructure. If existing infrastructure is not within the existing easements, dedicate additional easement to provide the minimum widths over the actual pipe locations.
5. Infrastructure List:
 - a. The improvements required in the Serviceability Letter shall be incorporated into the infrastructure list. This includes an eight-inch public water main.

See attached utility plan and infrastructure list, which includes the water main in the dedicated right-of-way for Weminuche serving these lots.

Code Enforcement

1. Property is Zoned PD – Must follow approved Durango Development Plan and IDO section 2-6.
2. Must meet standards of IDO sections 5-3 Access & Connectivity and 5-4 Subdivision of Land.
3. Re-plat cannot create nonconformity to IDO or increase an existing non-conformity.
4. Property is located in VPO-2, NW Mesa Escarpment, IDO 3-6(E), and CPO-13, Volcano Mesa, IDO 3-4(N); see Development and Dimensional standards in each respective area.
5. Future Development must meet all requirements of IDO, DPM, and other adopted City regulations.

Noted

Hydrology

• Hydrology has approved rough grading plan with Engineer's stamp date of 7/31/21 (C09D012), but in reviewing the proposed plat the lot layout does not match that approved grading plan. Either the lot layout needs to be changed to match the approved plan or the grading plan needs to be changed to match the new layout

Noted, administrative amendment to site plan was approved on 4/4/2022 (approval attached in this application). The plat linework now matches that linework, and the linework of the grading and drainage plan. Please note, AMAFCA just recently asked us to vacate easement 5, the blanket easement for the parent Tract G. We wanted to confer with Hydrology before doing so.

Parks and Recreation

05-25-2022

No comments for this request.

Noted

Transportation

1. Include roadway sections cross-sections and a streetlight exhibit. All new roadway infrastructure and streetlighting with appurtenances shall be placed onto an infrastructure list.
2. Include sidewalk exhibit with any proposed deferred sidewalk as applicable. Deferred sidewalk shall be indicated on the infrastructure list.

Noted, see attached exhibits showing roadway and sidewalk dimensions with street light locations.

3. The minimum required centerline radius for a turn is 75 feet.

Noted, see revised centerline of plat (curve 4) on the plat, which is now 75 feet.

4. Per the new DPM requirements, the minimum roadway width is 28 feet and is based what is needed for local streets based on ADT, the minimum right-of-way width is 48 feet, and the minimum sidewalk width is 5 feet.

Noted, we request an administrative decision to allow the right-of-way width to be a 47-foot width minimum to match the rest of the Durango subdivisions to the west and north. See attached justification letter.

5. Include Traffic Scoping Form prior to the next submittal to determine overall TIS requirements for the overall development.

Noted, traffic scoping form is attached and Durango Unit 2 was determined to not require TIS, per October 5th email from Matt Grush, senior engineer with CABQ planning (see attached).

Planning

- Additional changes to the approved Durango development plan may require additional minor/major amendments to that plan. Proposed development appears to be part of an approved Site Plan for Subdivision from 2015.
- Where development plan is silent, project must meet all applicable standards and provisions of the IDO and the DPM. Reference IDO section 2-6 PD- Planned Development, CPO-13 and VPO-2. Development standards to R-1B would be consistent with earlier phases.
- The project and application numbers must be added to Plan sheets, prior to final sign-off from Planning. Utility signatures, AMAFCA signatures and DXF File approval from AGIS will be required for the Preliminary and/or Final Plat actions. Those signatures must be obtained and included with all submittals prior to the acceptance of that application and the placement on a DRB agenda.
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions.
- Re-plating action cannot increase any existing nonconformity or create a new nonconformity.
- The applicant will need to work with Transportation, Hydrology, and Water Authority members on submitting the required items on Form S or P as a part of the application process and obtain the required signatures.

Noted, plat DXF was approved on October 5, 2022 and see Form S attached with this application.

Thank you for your consideration,
Ryan J. Mulhall

UPC Numbers for subject parcels

100906410421330611 (Tract G, Durango Unit 1)

100906407320331001 (Tract D, Durango Unit 3)

CSI-Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

October 7, 2022

Development Review Board
City of Albuquerque

Re: Justification of DRB Administrative Decision for proposed right-of-way width for Weminuche Road NW as part of the Preliminary and Final Plat applications for Subdivision of Tract G, Durango Unit 1 and Tract D, Durango Unit 3 to create Durango, Unit 2 [PR-2022-006769]

Members of the Board:

Cartesian Surveys is acting as an agent for Sonata Green Owner, LLC, and requests an administrative decision on right-of-way widths for our preliminary and final plat review to create twenty-two (22) new lots from two (2) existing tracts by subdivision of Tract G, Durango Unit 1 and Tract D, Durango Unit 3. The subdivision intends to grant the right-of-way, connecting the existing /stubbed portions of Weminuche Road NW.

The property is located along Weminuche Road NW just north of Tierra Antigua Elementary School. The property is currently zoned as MX-M (Mixed Use Moderate Intensity). The subdivision was heard for sketch plat review on May 25, 2022 under project number PR-2019-001996, application number PS-2022-00105.

As part of the DRB sketch plat hearing for subdivision of this property we were asked to justify deficient proposed right-of-way.

Weminuche Rd NW Right of Way Width

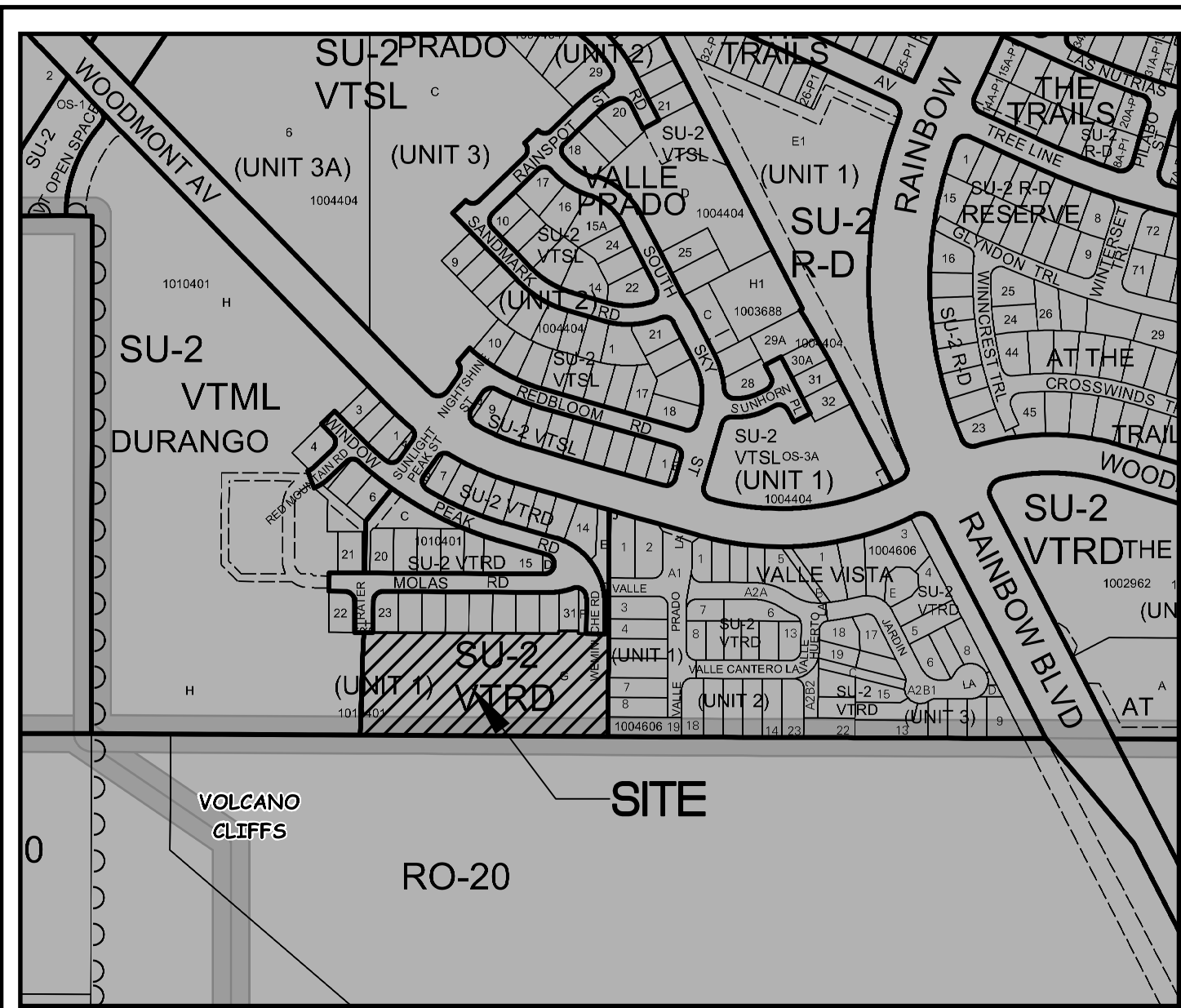
Our proposed 47-foot-wide right-of-way dedication connecting the existing portions of Gabaldon Road NW matches the existing width of all outlets to the existing Weminuche rights-of-way. It is technically deficient of the recently changed local street DPM standard width of 48 feet. The proposed public road is intended to connect to and maintain the character of the existing right-of-way, which was created under the DPM standard that was recently replaced.

Widening the right-of-way width to comply with the current DPM standard width of 48 feet would place an unnecessary burden on the owners of these properties, as the subdivision was designed to match the existing right-of-way and accommodates the necessary traffic circulation concerns (see attached traffic scoping form). The proposed right-of-way provides greater width at the SE corner using a knuckle, which widens the right-of-way further than other turns in the greater Durango subdivision area. Thus, we believe that section 6-6(P)(3)(a)3 of the IDO applies. The public welfare does not require that the proportion of the public right-of-way be altered given the public needs from the road are being met and would continue to be met with this subdivision being the last of the subdivided portions for this area. The current right-of-way boundary lines would not adversely affect the current public and private use of the future roadway, but would consistently preserve the neighborhood character.

Similarly, there is a net benefit to the public welfare by maintaining the current right-of-way width. Maintenance costs for the city remain proportionate to the use of the roadway, while allowing residential property to remain accessible to property owners and the character of the neighborhood. The consistent right-of-way widths will also allow for more consistent traffic

speeds, which a wider right-of-way might not necessarily promote in a residential neighborhood located near a number of public schools, where safety should be of paramount concern.

Thank you for your time and consideration.
Ryan J. Mulhall



Vicinity Map - Zone Atlas C-09-Z



Documents

- 1. TITLE COMMITMENT PROVIDED BY OLD REPUBLIC TITLE FOR TRACT G, HAVING FILE NO. 1908685 AND AN EFFECTIVE DATE OF NOVEMBER 17, 2021.
- 2. PLAT OF RECORD FOR DURANGO UNIT 1, FILED IN THE BERNALILLO COUNTY CLERK’S OFFICE ON FEBRUARY 12, 2016, IN BOOK 2016C, PAGE 12, AS DOCUMENT NO. 2016013834.
- 3. PLAT OF RECORD FOR DURANGO UNIT 3, FILED IN THE BERNALILLO COUNTY CLERK’S OFFICE ON SEPTEMBER 17, 2020, IN BOOK 2020C, PAGE 87.
- 4. SPECIAL WARRANTY DEED FOR SUBJECT PROPERTY (TRACT G) FILED IN THE BERNALILLO COUNTY CLERK’S OFFICE ON OCTOBER 13, 2020, AS DOCUMENT NO. 2020100657.
- 5. SPECIAL WARRANTY DEED FOR SUBJECT PROPERTY (TRACT D) FILED IN THE BERNALILLO COUNTY CLERK’S OFFICE ON JULY 28, 2022, AS DOCUMENT NO. 2022069978.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0111G, DATED SEPTEMBER 26, 2008.

Indexing Information

Section 16, Township 11 North, Range 2 East, N.M.P.M.
as Projected into the Alameda Grant
Subdivision: Durango Unit 1 and Durango Unit 3
Owner: Sonata Green Owner, LLC Attn: Multigreen Properties LLC
UPC #: 100906410421330611 (Tract G)
100906407320331001 (Tract D)

Purpose of Plat

- 1. SUBDIVIDE AS SHOWN HEREON.
- 2. DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.
- 3. GRANT EASEMENTS AS SHOWN HEREON.

Subdivision Data

GROSS ACREAGE.....3.8066 ACRES
ZONE ATLAS PAGE NO. C-9-Z
NUMBER OF EXISTING TRACTS 2
NUMBER OF LOTS CREATED. 22
MILES OF FULL-WIDTH STREETS. 0.1311 MILES
MILES OF HALF-WIDTH STREETS.0.0243 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. 0.8720 ACRES
DATE OF SURVEY. OCTOBER 2021

Notes

- 1. FIELD SURVEY PERFORMED IN OCTOBER 2021
- 2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
- 3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- 4. LOT LINES TO BE ELIMINATED SHOWN HEREON AS

Legal Description

TRACT LETTERED "G" OF PLAT OF DURANGO UNIT 1, (BEING A REPLAT OF TRACTS 7 AND 8, THE TRAILS UNIT 3A), WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 12, 2016 IN PLAT BOOK 2016C, PAGE 12 AS DOCUMENT NO. 2016013834.

AND

TRACT LETTERED "D" OF PLAT OF DURANGO UNIT 3, (BEING A REPLAT OF TRACT H, DURANGO UNIT 1), WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 17, 2020 IN PLAT BOOK 2020C, PAGE 87 AS DOCUMENT NO. 2020090296.

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Treasurer's Certificate

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC # _____100906410421330611_____
_____.100906407320331001_____

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER’S OFFICE

Plat for
Durango Unit 2
Being Comprised of
Tract G, Durango Unit 1 and
Tract D, Durango Unit 3
City of Albuquerque
Bernalillo County, New Mexico
August 2022

Project Number: _____PR-2019-001996

Application Number: _____

Plat Approvals:

PNM Electric Services

Qwest Corp. d/b/a CenturyLink QC

New Mexico Gas Company

Comcast

City Approvals:

Loren Risenhoover P.S. 9/16/2022
City Surveyor

Traffic Engineer

ABCWUA

Parks and Recreation Department

Code Enforcement

AMAFCA

City Engineer

DRB Chairperson, Planning Department

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr.
Will Plotner Jr.
N.M.R.P.S. No. 14271

9/6/2022
Date



CSI-CARTESIAN SURVEYS INC.

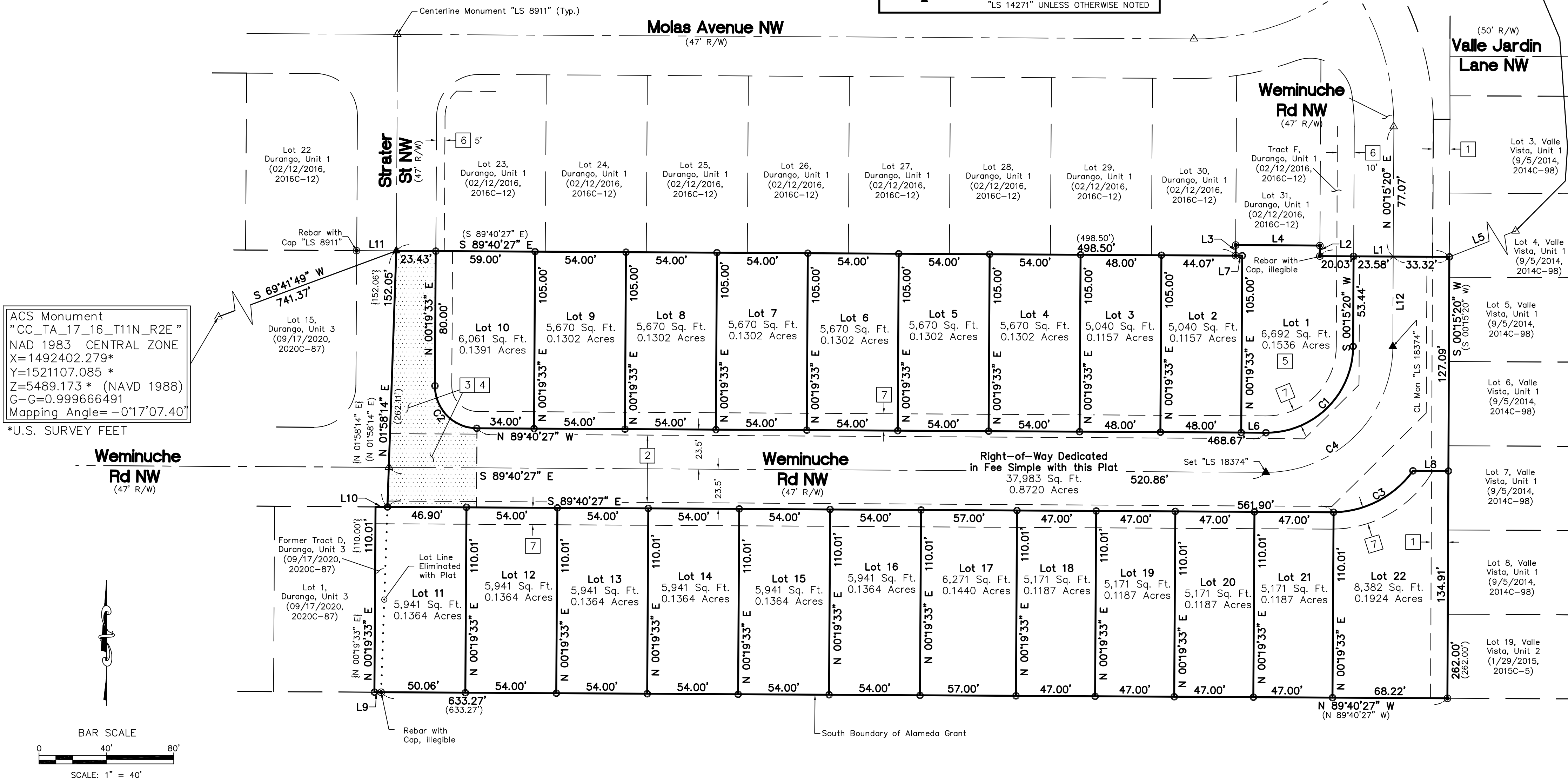
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
wplotnerjr@gmail.com

Plat for
Durango Unit 2
Being Comprised of
Tract G, Durango Unit 1 and
Tract D, Durango Unit 3
City of Albuquerque
Bernalillo County, New Mexico
August 2022

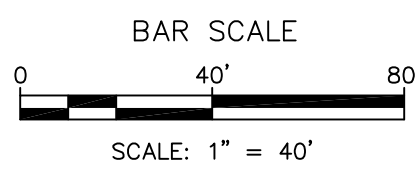
Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (02/12/2016, 2016C-12)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (09/17/2020, 2020C-87)
●	FOUND PK NAIL "LS 8611" IN TOP OF WALL, UNLESS INDICATED OTHERWISE
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT "LS 8911" AS UNLESS OTHERWISE NOTED
▲	SET CENTERLINE MONUMENT STAMPED "LS 14271" UNLESS OTHERWISE NOTED

ACS Monument "2_C9"
NAD 1983 CENTRAL ZONE
X=1494519.241 *
Y=1521672.052 *
Z=5454.55 * (NAVD 1988)
G-G=0.999666850
Mapping Angle=-0°16'52.77"
*U.S. SURVEY FEET



ACS Monument
"CC_TA_17_16_T11N_R2E"
NAD 1983 CENTRAL ZONE
X=1492402.279*
Y=1521107.085 *
Z=5489.173 * (NAVD 1988)
G-G=0.999666491
Mapping Angle=-0°17'07.40"
*U.S. SURVEY FEET



Tract C-1,
Ancient Mesa
(2/21/2008,
2008C-31)

Easement Notes

- [1] EXISTING 10' P.U.E. (06/08/2009, DOC. NO. 2009063589)
- [2] EXISTING 40' PUBLIC SANITARY SEWER, STORM DRAIN AND DRAINAGE EASEMENT (12/03/2019, DOC. NO. 2019103155) AND AGREEMENT (12/16/2019, DOC. NO. 2019107041)
- [3] EXISTING PUBLIC WATERLINE EASEMENT (12/06/2019, DOC. NO. 2019104123) SHOWN HEREON AS [REDACTED]
- [4] EXISTING PUBLIC ROADWAY EASEMENT (12/03/2019, DOC. NO. 2019103154) SHOWN HEREON AS [REDACTED]
- [5] EXISTING PUBLIC DRAINAGE EASEMENT (4/21/2016, DOC. NO. 2016036480)
- [6] EXISTING PUBLIC UTILITY EASEMENT (02/12/2016, 2016C-12)
- [7] 10' PUBLIC UTILITY EASEMENT, GRANTED WITH THE FILING OF THIS PLAT

Line Table		
Line #	Direction	Length (ft)
L1	S 89°40'27" E (S 89°40'27" E)	76.93' (76.93')
L2	S 00°19'33" W (S 00°19'33" W)	6.30' (6.30')
L3	N 00°19'33" E (N 00°19'33" E)	6.30' (6.30')
L4	S 89°40'27" E (S 89°40'27" E)	50.00' (50.00')
L5	N 68°38'53" E	855.60'
L6	N 89°40'27" W	14.67'
L7	S 89°40'27" E	3.93'
L8	S 89°44'40" E	21.05'
L9	N 89°40'27" W {N 89°40'27" W}	3.94' {3.87'}
L10	S 89°40'27" E {N 89°40'27" W}	7.10' {7.03'}
L11	N 89°40'27" W	23.50'
L12	S 00°15'22" W	53.41'

Free Consent and Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) THEREOF. EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

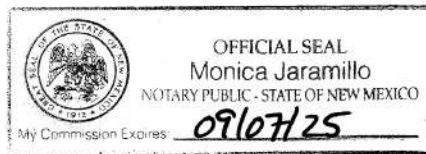
SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY AS SHOWN HEREON IN WEMINUCHE ROAD N.W. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

JOHN MURTAGH, MANAGER
SONATA GREEN OWNER, LLC

STATE OF NEW MEXICO }
COUNTY OF Sandoval } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 09/22, 2022
REPRESENTATIVE, MANAGER, SONATA GREEN OWNER, LLC

By: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES 09/07/22



Note:

THE PROPERTY IS SUBJECT TO THE FOLLOWING PROTECTIVE ENCUMBRANCES BETWEEN THE LENDER AND OWNER AS ESTABLISHED IN THE FOLLOWING RECORDED DOCUMENTS:
DOCUMENT NO. 2018104255 FILED ON 12/3/2018
DOCUMENT NO. 2019033184 FILED ON 4/25/2019

Note:

THE PROPERTY IS SUBJECT TO THE FOLLOWING RESTRICTIVE COVENANTS RECORDED FEBRUARY 9, 2004 IN BOOK A73, PAGE 1137 AS DOCUMENT NO. 2004021200, AND AMENDED BY THE FOLLOWING DOCUMENTS;

SUPPLEMENT NO. 1 RECORDED NOVEMBER 22, 2004 IN BOOK A87, PAGE 1688 AS DOCUMENT NO. 2004162141;

AMENDMENT TO "EXHIBIT C" RECORDED APRIL 18, 2006 IN BOOK A115, PAGE 4245 AS DOCUMENT NO. 2006054417;

SUPPLEMENT NO. 4 RECORDED JULY 17, 2006 IN BOOK A120, PAGE 5897 AS DOCUMENT NO. 2006106196;

SUPPLEMENT NO. 3 RECORDED JULY 17, 2006 IN BOOK A120, PAGE 5898 AS DOCUMENT NO. 2006106197;

SUPPLEMENT NO. 6 RECORDED APRIL 26, 2007 IN BOOK A136, PAGE 1470 AS DOCUMENT NO. 2007061590;

ASSIGNMENT RECORDED APRIL 30, 2014 AS DOCUMENT NO. 2014033929;

SUPPLEMENT NO. 13 RECORDED FEBRUARY 4, 2015 AS DOCUMENT NO. 2015009885;

SUPPLEMENT NO. 6.2 RECORDED MARCH 5, 2015 AS DOCUMENT NO. 2015018505;

SUPPLEMENT NO. 14 RECORDED MARCH 18, 2015 AS DOCUMENT NO. 2015022357;

SUPPLEMENT NO. 15 RECORDED OCTOBER 2, 2015 AS DOCUMENT NO. 2015086184;

SUPPLEMENT NO. 16 RECORDED FEBRUARY 19, 2016 AS DOCUMENT NO. 2016015955;

SUPPLEMENT NO. 17 RECORDED APRIL 15, 2016 AS DOCUMENT NO. 2016034688.

Plat for
Durango Unit 2
Being Comprised of
Tract G, Durango Unit 1 and
Tract D, Durango Unit 3
City of Albuquerque
Bernalillo County, New Mexico
August 2022

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	80.96'	51.50'	90°04'13"	72.88'	N 45°17'27" E
C2	39.27'	25.00'	90°00'00"	35.36'	S 44°40'27" E
C3	55.12'	59.53'	53°03'11"	53.17'	N 62°26'25" E
C4	117.90'	75.00'	90°04'11"	106.13'	N 45°17'28" E

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896 - 3050 Fax (505) 891 - 0244
wplotnerjr@gmail.com

Sketch Plat for
Durango Unit 2
Being Comprised of
Tract G, Durango Unit 1 and
Tract D, Durango Unit 3
City of Albuquerque
Bernalillo County, New Mexico
August 2022

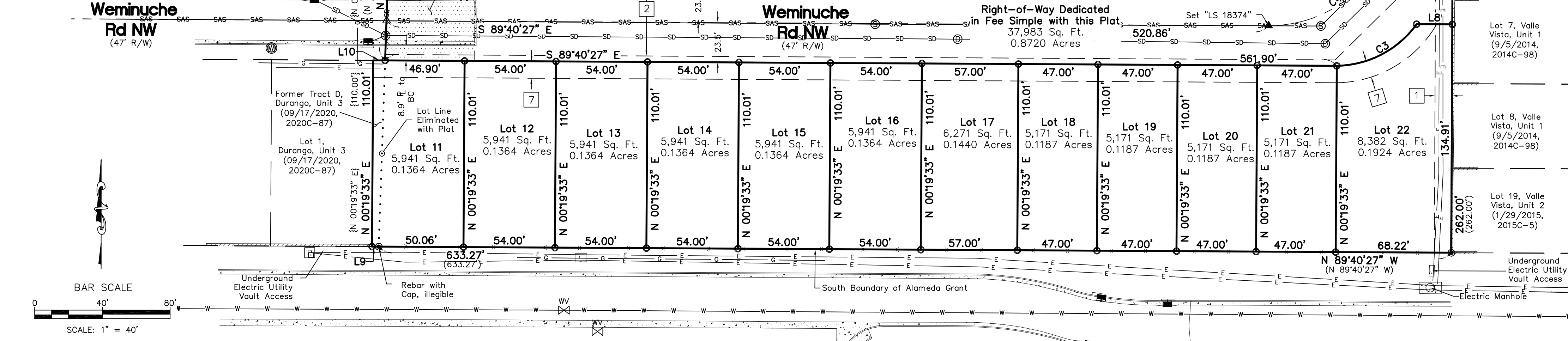
Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES	P	PULL BOX	—G—	UNDERGROUND GAS UTILITY LINE
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (02/12/2016, 2016C-12)	☆	LIGHT POLE	—W—	UNDERGROUND WATER UTILITY LINE
●	FOUND PK NAIL "LS 8611" IN TOP OF WALL, UNLESS OTHERWISE NOTED	T	TRANSFORMER	—SAS—	UNDERGROUND SANITARY SEWER LINE
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED	□	CONCRETE	—E—	UNDERGROUND ELECTRIC UTILITY LINE
△	FOUND CENTERLINE MONUMENT "LS 8911" AS UNLESS OTHERWISE NOTED	▨	BLOCK WALL	⊙	WATER METER
—OR—	SIGN	—○—	CHAINLINK FENCE	⊙	WATER MANHOLE
		□	UTILITY PEDESTAL	⊙	STORM DRAIN MANHOLE
		⊙	GAS METER	⊙	STORM DRAIN INLET
				⊙	SANITARY SEWER MANHOLE

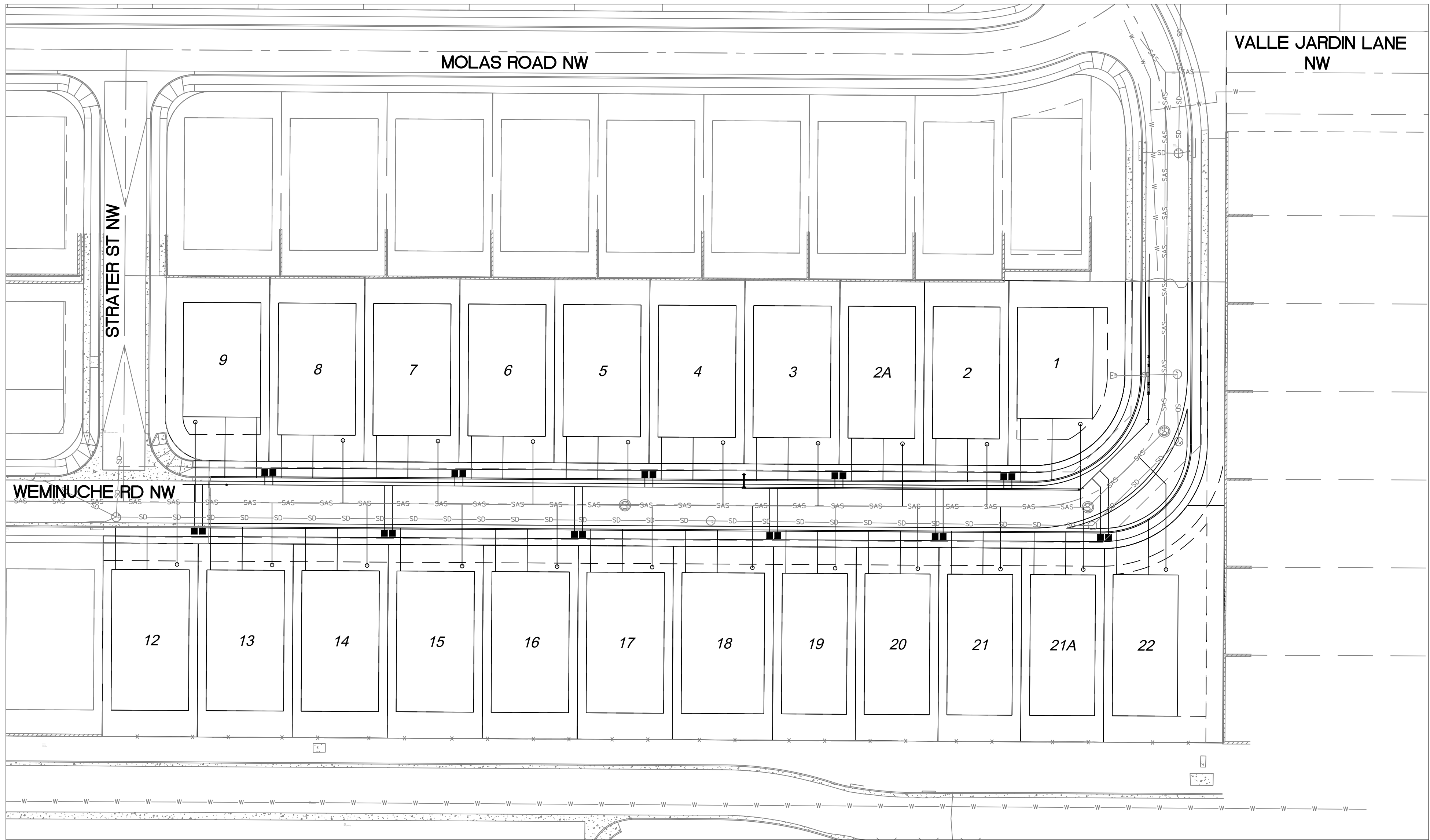
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*U.S. SURVEY FEET



NAME: N:\Projects\W0128-Sonata Green Owner\W0128.01 Durango Unit 23.DWG Streets\OVERALL UTILITY PLAN.dwg PLOT DATE: Oct 05, 2022 12:35pm LSB: jamie.vigil



LEGEND

- -- --- PROPERTY BOUNDARY
- W --- NEW WATERLINE
- ⌵ NEW PRIVATE WATER VALVE (TYP.)
- ⌵ NEW WALL INDICATOR VALVE (TYP.)
- ⌵ NEW FIRE DEPARTMENT CONNECTION (TYP.)
- ⌵ NEW FIRE HYDRANT (TYP.)
- NEW METER BOX

- SAS --- SAS --- NEW SEWER LINE
- NEW SEWER MH (TYP.)
- GAS --- NEW GAS LINE (BY OTHERS)
- NEW STORM DRAIN LINE
- NEW STORM DRAIN MH (TYP.)
- W --- W --- EXISTING WATERLINE
- SAS --- SAS --- EXISTING SEWER LINE
- G --- EXISTING GAS LINE
- NEW SAS TWO WAY CLEANOUT

GENERAL NOTES

- ALL SANITARY SEWER MANHOLES SHALL BE 48" DIA., TYPE E UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL SANITARY SEWER SERVICES SHALL EXTEND UNDER THE FULL WIDTH OF THE PUBLIC UTILITY EASEMENTS.
- ALL HYDRANT LEGS SHALL BE VALVED AND HAVE RESTRAINED JOINTS BETWEEN THE MAIN AND THE VALVE.
- UTILITY CONDUIT LOCATIONS TO BE DETERMINED BY OTHERS.
- ALL SEWER AND WATER MAIN LINES SHALL BE 8" IN DIAMETER UNLESS OTHERWISE NOTED.
- ALL SAS MAIN LINES TO BE SDR-35 PVC
- ALL WL MAIN LINES TO BE C-900 DR-18 PVC.
- SEE THIS SHEET FOR RESTRAINT TABLE AND NOTES.
- CONTRACTOR TO FILED VERIFY SIZE'S AND LOCATION PRIOR TO ANY CONSTRUCTION.
- THE DRY UTILITY EASEMENT SHOWN IS FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE BY OTHERS.
- RESTRAINED LENGTHS FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20' JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20' JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY THE TABLE ON THIS SHEET.
- ALL UTILITY IMPROVEMENTS LOCATED WITHIN THE RIGHT OF WAY ARE PUBLIC AND SHALL BE INCLUDED ON A PUBLIC WORK ORDER, UNLESS OTHERWISE NOTED.
- ALL UTILITIES SHOWN ON THE PRIVATE PROPERTY SHALL BE PRIVATE UNLESS OTHERWISE NOTED.
- ALL WATER LINES AND FORCE MAINS SHALL HAVE A 3' BURY MINIMUM.
- SEE PLUMBING PLANS FOR UTILITY CONTINUATION INTERNAL TO BUILDINGS.
- CONTRACTOR SHALL ENSURE A MINIMUM 6" VERTICAL SEPARATION BETWEEN SEWER AND WATER MAINS AT CROSSINGS.
- INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE (AND SHOW ON PLANS).

PRESSURE PIPE RESTRAINED JOINT LENGTH REQUIREMENTS
TEST PRESSURE @ 150 PSI

LENGTHS OF PIPE TO BE RESTRAINED - ALL JOINTS WITHIN LENGTH(FEET) MUST BE RESTRAINED (APPLIES TO PVC ONLY)

PIPE SIZE	HORIZONTAL BENDS				DEAD END OR VALVE	FIRE HYDRANT TEE STD. 6-INCH BRANCH LINE FOR ALL PIPE MAIN LINE SIZES, ALL FITTINGS AND PIPE JOINTS FROM TEE TO FIRE HYDRANT FLANGE SHALL BE RESTRAINED	REDUCERS	
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND			L. SIDE	R. SIDE
4"	18'	8'	4'	2'	39'	6x4	28	
6"	25'	11'	5'	3'	55'	8x4	52	
8"	33'	14'	7'	4'	72'	8x6	30	
10"	39'	16'	8'	4'	87'	10x4	70	
12"	45'	19'	9'	5'	102'	10x6	53	
						10x8	29	
						12x4	88	
						12x6	74	
						12x8	54	
						12x10	50	

RESTRAINED LENGTH ON LARGE SIDE ONLY

PIPE SIZE	VERTICAL DOWNBEND			
	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT
4"	16'	4'	5'	2'
6"	23'	5'	11'	3'
8"	30'	7'	14'	3'
10"	36'	8'	17'	4'
12"	42'	10'	20'	5'

NOTE:

- ASSUMES MINIMUM DEPTH OF BURY = 3 FT.
- RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE.

THRUST RESTRAINT NOTE:

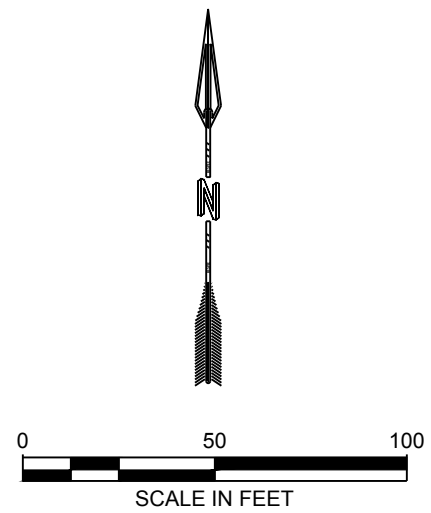
ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG"® STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG"® PIPE BELL-HARNESSE RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAA IRON "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

TRENCH TYPE 3
SOIL TYPE SM (SILTY SANDS, SAND SILT MIXTURE)
SAFETY FACTOR 1.5 TO 1

TYPICAL BURY DEPTH:
4" THROUGH 12" DIAMETER PIPE 3 FT
14" THROUGH 24" DIAMETER PIPE 4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:
4" THROUGH 12" DIAMETER PIPE 3 FT TO TOP OF UPPER BRANCH
6 FT TO TOP OF LOWER BRANCH
14" THROUGH 24" DIAMETER PIPE 4 FT TO TOP OF UPPER BRANCH
7 FT TO TOP OF LOWER BRANCH

CONTRACTOR MAY SUBMIT SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.



	CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION	
	DURANGO UNIT 2	
	OVERALL UTILITY PLAN	
	DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
ZONE MAP NO. C-09-Z		
CITY PROJECT NO. PROJECT #		
SHEET NO. 6		

CONSULTANTS

BENCH MARKS
XXXXXXXXXXXX

60% REVIEW

PRELIMINARY
NOT FOR CONSTRUCTION
10/2022

DESIGNED BY: BE
DRAWN BY: BE
CHECKED BY: JS
DATE: 10.05.2022

NO. DATE DESCRIPTION CONTRACTOR
AS-BUILT INFORMATION
WORK STAKED BY: DATE:
INSPECTOR'S ACCEPTANCE BY: DATE:
FIELD VERIFICATION BY: DATE:
DRAWINGS CORRECTED BY: DATE:



Charlene Johnson

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Wednesday, October 5, 2022 1:19 PM
To: Charlene Johnson
Subject: Strater St. NW Neighborhood Meeting Inquiry Sheet Submission
Attachments: Zone Atlas H-12-Z_Durango_Unit 2.pdf

PLEASE NOTE:

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

As of October 5, 2022, there are **NO** neighborhood associations to notify.

Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to attach a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

Thank you.



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102

505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Wednesday, October 5, 2022 11:48 AM

To: Office of Neighborhood Coordination <johnson@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Charlene Johnson

Telephone Number

5057649801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th St. NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR G PLAT OF DURANGO UNIT 1 (BEING A REPLAT OF TRACTS7 AND 8, THE TRAILS UNIT 3A) CONT 3.7931 AC

Physical address of subject site:

Strater St. NW

Subject site cross streets:

Molas Road Window Peak Rd. NW

Other subject site identifiers:

This site is located on the following zone atlas page:

H-12

Captcha

x

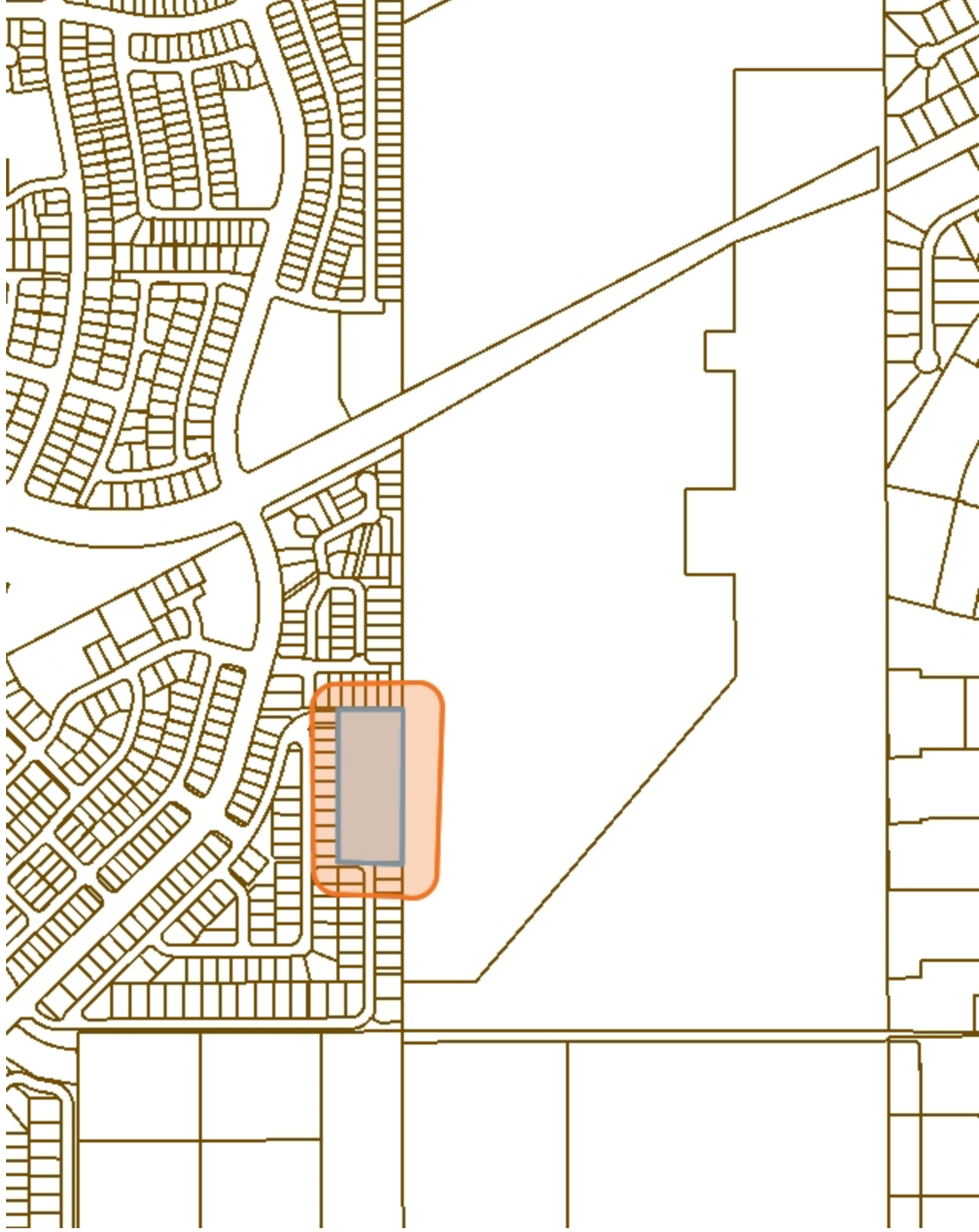


City of Albuquerque



Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED



Notes

100-foot Buffer

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

1,202 0 601 1,202 Feet

1: 7,212

WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of Albuquerque
10/5/2022

100-FOOT BUFFER ADDRESSES - DURANGO TRACT 2

OWNER	OWNER ADDRESS	
BOARD OF EDUCATION	PO BOX 25704	ALBUQUERQUE NM 87125-0704
DAVIS JEFFREY PHILIP	8805 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
ABBATANTUONO GUY D & SANDOVAL ALEXIS Y	8809 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
SOTO JUAN J JR	8815 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
VAN SLYKE JOSEPH & WHEELAN RHONDA	8819 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
MCNEAL MARY SUE & DONALD T	8823 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
SEDILLO MIKE J & SYLVIA	8827 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
TRAILS COMMUNITY ASSOC INC THE	PO BOX 67590	ALBUQUERQUE NM 87193-7590
BUTLER LEAH M & JOSHUA AARON	8801 VALLE PRADO LN NW	ALBUQUERQUE NM 87114-6398
SONATA GREEN OWNER LLC ATTN: MULTIGREEN		
PROPERTIES LLC	170 S GREEN VALLEY PKWY SUITE 300	HENDERSON NV 89012-3111
BEITIA JOIE	7408 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
SALAZAR BERNADETTE ANN & DAVID JASON	9619 VISTA CASITAS DR NW	ALBUQUERQUE NM 87114-3721
NICHOLS ZACHARY R & NICHOLS ANITA L	7416 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
WOOD ALLEN B III & LORETTA A	7420 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
BURNS ANGELO	7404 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
DELGADO WENDY	7424 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
CROWSON BRADLEY A & MARIA I	7428 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
COHN MICHAEL & STEPHANIE	7432 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
PHILLIPS PETER & LIA MARY M TRUSTEES PHILLIPS &		
LIA RVT	7440 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
WOODMONT PASEO LLC	2219 CHATSWORTH CT	HENDERSON NV 89074-5310
MEYER GREGORY T	7400 MOLAS RD NW	ALBUQUERQUE NM 87114-6435
WOODMONT PASEO LLC	2219 CHATSWORTH CT	HENDERSON NV 89074-5310
PV DURANGO LLC	4350 LA JOLLA VILLAGE DR SUITE 110	SAN DIEGO CA 92122-0100
HAKES BROTHERS ABQ LLC	9400 HOLLY AVE NE SUITE 202	ALBUQUERQUE NM 87122-2969
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SMITH PAULA E & MATTHEW J	7444 MOLAS RD NW	ALBUQUERQUE NM 87114-6455



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Preliminary Plat and Vacation of Drainage Easement

Decision-making Body: Development Review Board (DRB)

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☐ Yes ☒ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☒ No **Note: if yes, see second page**

PART II - DETAILS OF REQUEST

Address of property listed in application: Strater St. NW

Name of property owner: Sonata Green, LLC.

Name of applicant: Sonata Green, LLC/ Agent: Cartesian Surveys

Date, time, and place of public meeting or hearing, if applicable: Wednesday, November 2, 2022 at 9:00 AM

The meeting will be held via Zoom remote meetings.

Address, phone number, or website for additional information: Ryan Mulhall at cartesianryan@gmail.com or
(505) 896-3050

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

**IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) October 5, 2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

CITY OF ALBUQUERQUE, PLANNING DEPARTMENT, 600 2ND ST. NW, ALBUQUERQUE, NM 87102 505.924.3860

www.cabq.gov

Printed 11/1/2020

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: October 5, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Strater St. NW
Location Description North of Tierra Antigua Elementary School, west of Valle Prado Lane
2. Property Owner* Sonata Green, LLC.
3. Agent/Applicant* [if applicable] Cartesian Surveys / Sonata Greens, LLC.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Major (Minor or Major)
 - ☒ Vacation Blanket Drainage Easement (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request¹*:

Subdivision plat major to create 22 lots for a single-family residential development.

Vacation of the blanket drainage easement on the property at the request of AMAFCA.

5. This application will be decided at a public meeting or hearing by*:

- | | |
|--|--|
| <input type="checkbox"/> Zoning Hearing Examiner (ZHE) | <input checked="" type="checkbox"/> Development Review Board (DRB) |
| <input type="checkbox"/> Landmarks Commission (LC) | <input type="checkbox"/> Environmental Planning Commission (EPC) |

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: Wednesday, November 2, 2022, 9:00 AM

Location*²: Zoom remote meetings. Please visit the website below for agenda and Zoom link.

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:
Please contact Ryan Mulhall at cartesianryan@gmail.com or at (505) 896-3050

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ H-12-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation*:

None requested by Neighborhood Associations.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☒ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

The Applicant met with The Trails HOA to discuss lot transfers to the HOA.

During those discussions, Sonata Green, LLC. agreed to build a garden wall in Durango Unit 2 directly west of the existing Valle Vista perimeter wall south of Molas (lots contiguous to Durango Unit 2) to mitigate any impact from car headlights along Weminuche.

The Applicant stands by this agreement.

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

N/A a. Location of proposed buildings and landscape areas.*

N/A b. Access and circulation for vehicles and pedestrians.*

N/A c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

N/A d. **For residential development***: Maximum number of proposed dwelling units.

N/A e. **For non-residential development***:

- ☐ Total gross floor area of proposed project.
- ☐ Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 3.8 acres
 2. IDO Zone District Planned Development (PD)
 3. Overlay Zone(s) [if applicable] Volcano Mesa CPO-13 and Northwest Mesa Escarpment VPO-2
 4. Center or Corridor Area [if applicable] None
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Sheet 1 of 3
211937

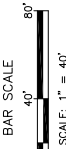
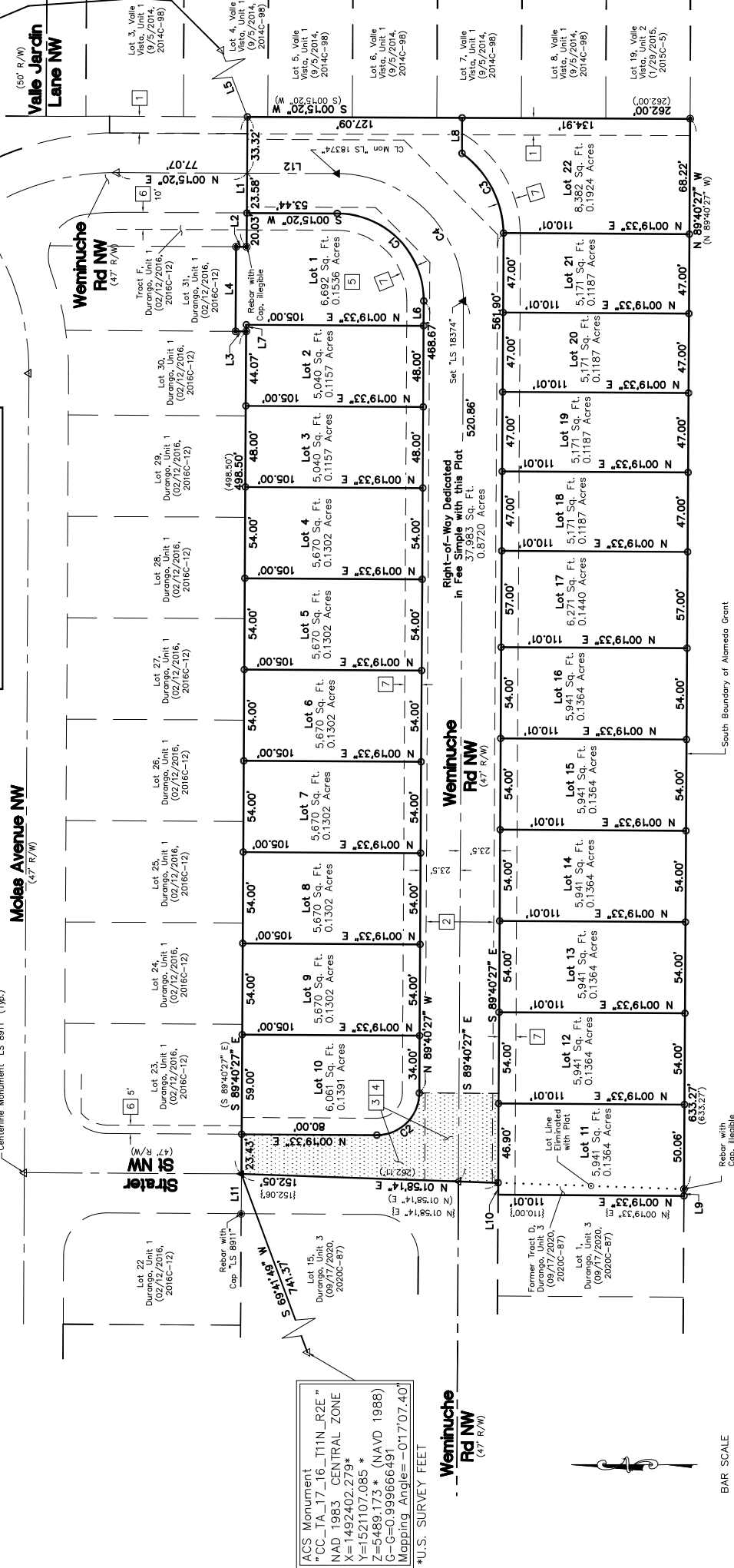
Plat for
Durango Unit 2
 Being Comprised of
 Tract G, Durango Unit 1 and
 Tract D, Durango Unit 3
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2022

Legend

N 90°00'00" E (N 90°00'00" E)	MEASURED BEARINGS AND DISTANCES RECORD BEARINGS AND DISTANCES PER PLAT (02/12/2016, 2016C-12)
IN 90°00'00" E	RECORD BEARINGS AND DISTANCES PER PLAT (09/17/2020, 2020C-87)
●	FOUND PK NAIL "LS 8911" IN TOP OF WALL, UNLESS INDICATED OTHERWISE
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT "LS 8911" AS UNLESS OTHERWISE NOTED
▲	SET CENTERLINE MONUMENT STAMPED "LS 14271" UNLESS OTHERWISE NOTED

ACS Monument "2_C9"
 NAD 1983 CENTRAL ZONE
 X=1494519.241 *
 Y=1521672.052 *
 Z=5454.55 * (NAVD 1988)
 G=0.99966850
 Mapping Angle= -0°16'52.77"

*U.S. SURVEY FEET



CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44114 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerj@gmail.com

Easement Notes

- 1 EXISTING 10' P.U.E. (06/08/2009, DOC. NO. 2009063589)
- 2 EXISTING 40' PUBLIC SANITARY SEWER, STORM DRAIN AND DRAINAGE EASEMENT (12/03/2019, DOC. NO. 2019103155) AND AGREEMENT (12/16/2019, DOC. NO. 2019107041)
- 3 EXISTING PUBLIC WATERLINE EASEMENT (12/06/2019, DOC. NO. 2019104123) SHOWN HEREON AS [REDACTED]
- 4 EXISTING PUBLIC ROADWAY EASEMENT (12/03/2019, DOC. NO. 2019103154) SHOWN HEREON AS [REDACTED]
- 5 EXISTING PUBLIC DRAINAGE EASEMENT (4/21/2016, DOC. NO. 2016036480)
- 6 EXISTING PUBLIC UTILITY EASEMENT (02/12/2016, 2016C-12)
- 7 10' PUBLIC UTILITY EASEMENT, GRANTED WITH THE FILING OF THIS PLAT

Line Table		
Line #	Direction	Length (ft)
L1	S 89°40'27" E (S 89°40'27" E)	76.93' (76.93')
L2	S 00°19'33" W (S 00°19'33" W)	6.30' (6.30')
L3	N 00°19'33" E (N 00°19'33" E)	6.30' (6.30')
L4	S 89°40'27" E (S 89°40'27" E)	50.00' (50.00')
L5	N 68°38'53" E	855.60'
L6	N 89°40'27" W	14.67'
L7	S 89°40'27" E	3.93'
L8	S 89°44'40" E	21.05'
L9	N 89°40'27" W (N 89°40'27" W)	3.94' [3.87']
L10	S 89°40'27" E (N 89°40'27" W)	7.10' [7.03']
L11	N 89°40'27" W	23.50'
L12	S 00°15'22" W	53.41'

Free Consent and Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) HEREOF, EXISTING AND/OR GRANTED PUBLIC UTILITY EASEMENTS (P.U.E.) AS SHOWN HEREON, UNLESS NOTED OTHERWISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUIT AND PIPES FOR UNDERGROUND UTILITIES. SAID UTILITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID P.U.E.. SAID OWNERS CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY AS SHOWN HEREON IN WEINUCHE ROAD N.W. TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.


JOHN MURTAS, MANAGER
SONATA GREEN OWNER, LLC



STATE OF NEW MEXICO }
COUNTY OF Bernalillo }
BY:  }
MY COMMISSION EXPIRES 09/07/22

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 09/22, 2022
REPRESENTATIVE, MANAGER, SONATA GREEN OWNER, LLC

BY: 
MY COMMISSION EXPIRES 09/07/22

Note:

THE PROPERTY IS SUBJECT TO THE FOLLOWING PROTECTIVE ENCUMBRANCES BETWEEN THE LENDER AND OWNER AS ESTABLISHED IN THE FOLLOWING RECORDED DOCUMENTS:
DOCUMENT NO. 2018104255 FILED ON 12/3/2018
DOCUMENT NO. 2019033184 FILED ON 4/25/2019

Note:

THE PROPERTY IS SUBJECT TO THE FOLLOWING RESTRICTIVE COVENANTS RECORDED FEBRUARY 9, 2004 IN BOOK A73, PAGE 1137 AS DOCUMENT NO. 2004021200, AND AMENDED BY THE FOLLOWING DOCUMENTS:

SUPPLEMENT NO. 1 RECORDED NOVEMBER 22, 2004 IN BOOK A87, PAGE 1688 AS DOCUMENT NO. 2004162141;

AMENDMENT TO "EXHIBIT C" RECORDED APRIL 18, 2006 IN BOOK A115, PAGE 4245 AS DOCUMENT NO. 2006054417;

SUPPLEMENT NO. 4 RECORDED JULY 17, 2006 IN BOOK A120, PAGE 5897 AS DOCUMENT NO. 2006106196;

SUPPLEMENT NO. 3 RECORDED JULY 17, 2006 IN BOOK A120, PAGE 5898 AS DOCUMENT NO. 2006106197;

SUPPLEMENT NO. 6 RECORDED APRIL 26, 2007 IN BOOK A136, PAGE 1470 AS DOCUMENT NO. 2007061590;

ASSIGNMENT RECORDED APRIL 30, 2014 AS DOCUMENT NO. 2014033929;

SUPPLEMENT NO. 13 RECORDED FEBRUARY 4, 2015 AS DOCUMENT NO. 2015009885;

SUPPLEMENT NO. 6.2 RECORDED MARCH 5, 2015 AS DOCUMENT NO. 2015018505;

SUPPLEMENT NO. 14 RECORDED MARCH 18, 2015 AS DOCUMENT NO. 2015022357;

SUPPLEMENT NO. 15 RECORDED OCTOBER 2, 2015 AS DOCUMENT NO. 2015086184;

SUPPLEMENT NO. 16 RECORDED FEBRUARY 19, 2016 AS DOCUMENT NO. 2016015955;

SUPPLEMENT NO. 17 RECORDED APRIL 15, 2016 AS DOCUMENT NO. 2016034688.

Plat for
Durango Unit 2
Being Comprised of
Tract G, Durango Unit 1 and
Tract D, Durango Unit 3
City of Albuquerque
Bernalillo County, New Mexico
August 2022

Curve Table			
Curve #	Length	Radius	Chord Direction
C1	80.98'	51.58'	N 45°17'27" E
C2	39.27'	25.03'	S 44°40'27" E
C3	55.12'	59.53'	N 62°26'25" E
C4	117.90'	75.00'	N 45°17'28" E

Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Quest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.
- Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.
- Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.
- Disclaimer:
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGCC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGCC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

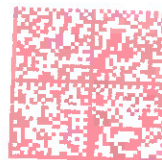
CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
wplmurf@gmail.com

anning, Inc.
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NM 87102

SMITH PAULA E & MATTHEW J
7444 MOLAS RD NW
ALBUQUERQUE NM 87114-6455

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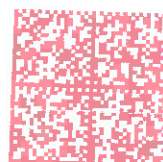
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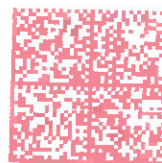
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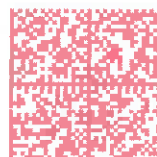


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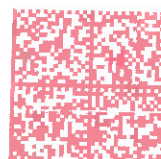


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SONATA GREEN OWNER LLC ATTN:
MULTIGREEN PROPERTIES LLC
170 S GREEN VALLEY PKWY SUITE 300
ALBUQUERQUE NM 87102-6435

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PO BOX 67590
ALBUQUERQUE NM 87193-7590

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SEDILLO MIKE J & SYLVIA
8827 VALLE PRADO LN NW
ALBUQUERQUE NM 87114-6398

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Albuquerque, NM 87102

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DAVIS JEFFREY PHILIP
8805 VALLE PRADO LN NW
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BOARD OF EDUCATION
PO BOX 25704
ALBUQUERQUE NM 87125-0704

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SOTO JUAN J JR
8815 VALLE PRADO LN NW
ALBUQUERQUE NM 87114-6398

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OCT 05 2022

VAN SLYKE JOSEPH & WHEELAN RHONDA
8819 VALLE PRADO LN NW
ALBUQUERQUE NM 87114-6398

Memorandum

To: Jolene Wolfley and DRB Members, City of Albuquerque

From: Charlene Johnson, AICP, Consensus Planning, Inc.

Date: October 5, 2022

Re: Sensitive Lands Analysis for Durango Unit 2

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. We have analyzed the project site for the presence of sensitive lands and the constraints related to such lands. As outlined below, none of these features are present on the subject property for the proposed Durango Unit 2 single-family development.

1. **Arroyos:** There are no arroyos existing on the subject property. Utilizing the AMAFCA interactive online facilities map, the closest arroyo is identified as the Boca Negra Arroyo. It is located to the southwest within the Petroglyph National Monument.



Figure 1: AMAFCA Facilities Map of site and vicinity.

2. **Floodplains and Special Flood Hazard Areas:** the subject site is in an area with a FEMA Flood Zone Designation X, which is an area of minimal flood hazard.
3. **Irrigation facilities (acequias):** the site is not located in the valley and is not near any irrigation facilities.
4. **Large stands of mature trees:** There are no trees on the subject property (see Figure 2).
5. **Rock outcroppings:** These outcroppings are defined in the IDO as being at least 6 feet high and over 500 square feet in size. There are no rock outcroppings on the subject property (see Figure 2).



Figure 2: Photo of the subject property showing no rock outcroppings or trees on the site.

6. **Significant archaeological sites:** The site is less than 5 acres and does not require an Archeological Certificate of no effect.
7. **Steep slopes and escarpments:** This property has virtually no grade changes. In reviewing the available topographic information, including the 2-foot contours available in the Advanced Map Viewer, the site does not include any slopes that meet the IDO definition of a steep slope or escarpment, which is a minimum slope of 9 percent or more. This site is significantly below that threshold.

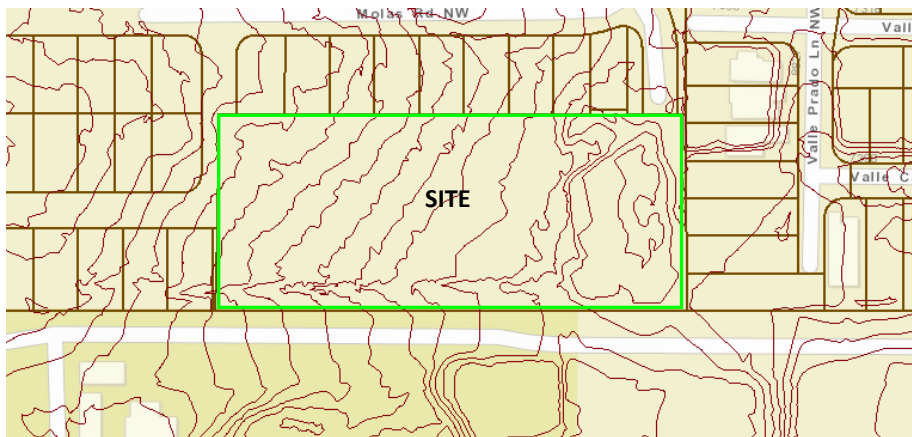


Figure 3: Two-foot contour map of the subject site showing virtually no grade changes.

8. **Wetlands:** Utilizing the U.S. Fish & Wildlife Service Wetlands Mapper, it was determined that no wetlands exist on this property.

Current DRC
Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 10/7/22
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

DURANGO UNIT 2

TRACT LETTERED "G" OF PLAT OF DURANGO UNIT 1, (BEING A REPLAT OF TRACTS 7 AND 8, THE TRAILS UNIT 3A), WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 12, 2016 IN PLAT BOOK 2016C, PAGE 12 AS DOCUMENT NO. 2016013834. AND TRACT LETTERED "D" OF PLAT OF DURANGO UNIT 3, (BEING A REPLAT OF TRACT H, DURANGO UNIT 1), WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 17, 2020 IN PLAT BOOK 2020C, PAGE 87 AS DOCUMENT NO. 2020090296.

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		PAVING							
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES	WEMINUCHE ROAD	LOT 9 50' EAST OF STRATER STREET	LOT 1 UNIT 2 NORTH BOUNDARY	/	/	/
							/	/	/
							/	/	/
		PUBLIC STORM DRAIN IMPROVEMENTS							
		24" DIA	RCP W/ INLETS	WEMINUCHE ROAD	APPRX. CENTER OF LOT 1 (WEST)	APPROX. CENTER OF LOT 1 (EAST)	/	/	/
		42" DIA	RCP	WEMINUCHE ROAD	APPROX. CENTER OF LOT 1	UNIT 2 NORTH BOUNDARY	/	/	/
							/	/	/
		PUBLIC WATERLINE IMPROVEMENTS							
		8" DIA	WATERLINE W/ VALVES, FH, MJ'S & RJ'S	WEMINUCHE ROAD	LOT 9 50' EAST OF STRATER STREET	LOT 1 UNIT 2 NORTH BOUNDARY	/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature Date							City User Dept. Signature Date			

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1

2

3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeremy Shell
NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

RESPEC
FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

DXF for Review - PR-2019-001996 / Durango, Unit 2

Muzzey, Devin P. <dmuzzey@cabq.gov>

Wed, Oct 5, 2022 at 12:15 PM

To: Ryan Mulhall <cartesianryan@gmail.com>, Planning Plat Approval <platgisreview@cabq.gov>

Cc: "Rodenbeck, Jay B." <jrodenbeck@cabq.gov>

Hi Ryan,

The DXF for PR-2019-001996 – Durango Unit 2, Tract G – has been approved. This email will notify the DRB office.

Thank you,

Devin Muzzey



Devin Muzzey

gis specialist

e dmuzzey@cabq.gov

cabq.gov/planning

From: Ryan Mulhall <cartesianryan@gmail.com>

Sent: Tuesday, October 4, 2022 4:32 PM

To: Planning Plat Approval <platgisreview@cabq.gov>

Subject: DXF for Review - PR-2019-001996 / Durango, Unit 2

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good afternoon,

Attached is our DXF and pdf for our Proposed subdivision of Durango Unit 2 [PR-2019-001996]. This plat is for the subdivision of a two existing tracts which will become twenty two new lots, and a dedication of right-of-way to connect the ends of Weminuche Road NW. The plat also grants a public utility easement. The project is located just north of Tierra Antigua Elementary School.



Ryan Mulhall <cartesianryan@gmail.com>

Plat for Review - New Subdivision creating Durango Unit 2 / Weminuche Road NW

Jared Romero <jromero@amafca.org>

Wed, Oct 5, 2022 at 1:52 PM

To: Ryan Mulhall <cartesianryan@gmail.com>

Cc: "Brissette, Renee C." <rbrissette@cabq.gov>, Shahab Biazar <sbiazar@cabq.gov>

Ryan,

See below for AMAFCA's comments on this plat:

- Revise the plat to reflect that the existing drainage easement is a blanket drainage easement over the whole Tract G.
- The blanket drainage easement will have to be vacated to subdivide Tract G. New drainage easements (as needed) will have to be granted by this plat and should be in accordance with the approved grading & drainage plan or master drainage plan for this area.

Best,

Jared

Jared Romero

Development Review Engineer

Albuquerque Metropolitan Arroyo Flood Control Authority

2600 Prospect Ave. NE

Albuquerque, NM 87107

Phone: (505) 884-2215

jromero@amafca.org

From: Ryan Mulhall <cartesianryan@gmail.com>

Sent: Wednesday, September 28, 2022 5:54 PM

To: Stone, Pamela C. <Pamela.Stone@nmgco.com>; PlatReview <platreview@lumen.com>; Rodney <Rodney.Fuentes@pnmresources.com>; Mike Mortus <mike_mortus@comcast.com>; Jared Romero <jromero@amafca.org>

Subject: Plat for Review - New Subdivision creating Durango Unit 2 / Weminuche Road NW

Good afternoon,

[Quoted text hidden]



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2019)

Project Title: Durango Unit 2 **Building Permit #:** _____ **Hydrology File #:** _____
Zone Atlas Page: C-09 **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Durango Unit 2 Being Comprised of Tract G, Durango Unit 2 and Tract D, Durango Unit 3
City Address: _____

Applicant: Sonata Green Owner, LLC **Contact:** JL Murtagh
Address: _____
Phone#: 505.259.3397 **Fax#:** _____ **E-mail:** JL@wcinm.com

Development Information

Build out/Implementation Year: 2023 **Current/Proposed Zoning:** SU-2 (No Change)
Project Type: New: (X) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()
Proposed Use (mark all that apply): Residential: (X) Office: () Retail: () Mixed-Use: ()
Describe development and Uses: Single Family Residential

Days and Hours of Operation (if known): Unkown

Facility

Building Size (sq. ft.): Varies
Number of Residential Units: 22
Number of Commercial Units: 0

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* Unknown
Expected Number of Employees (if known):* Unknown
Expected Number of Delivery Trucks/Buses per Day (if known):* Unknown
Driveway(s) Located on: Street Name Weminuche Road
Adjacent Roadway(s) Posted Speed: Street Name Weminuche Road Posted Speed 25 mph
Street Name Posted Speed

ITE Land Use # 210
Single Family Home,
23 DUs
AM peak 21 trips
PM peak 25 trips

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (to be completed by City of Albuquerque staff)

Comprehensive Plan Corridor Designation/Functional Classification: Weminuche - Local
Comprehensive Plan Center Designation: N/A
Jurisdiction of roadway (NMDOT, City, County): City
Adjacent Roadway(s) Traffic Volume: Unknown Volume-to-Capacity Ratio: Unknown
Adjacent Transit Service(s): None Nearest Transit Stop(s): Unknown
Current/Proposed Bicycle Infrastructure: None existing nor proposed

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No [☒] Borderline [☐]

Thresholds Met? Yes [☐] No [☒]

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: [☐]

Notes:

M.P. P.E.

10/5/2022

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of any building permit application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer. Call 924-3991 for information.

Site Plan Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter)
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections

Durango Unit 2

Jeremy Shell <Jeremy.Shell@respec.com>
To: Work-Ryan <cartesianryan@gmail.com>

Wed, Oct 5, 2022 at 3:58 PM

FYI attached

**Jeremy Shell, PE**

Community Design Solutions
c. 505.918.1053



From: Grush, Matthew P. <mgrush@cabq.gov>
Sent: Wednesday, October 5, 2022 3:47 PM
To: Jeremy Shell <Jeremy.Shell@respec.com>
Cc: Armijo, Ernest M. <earmijo@cabq.gov>
Subject: RE: Durango Unit 2

This Message Is From an External Sender

Report Suspicious

This message came from outside your organization.

Hello Jeremy,

A TIS is not required for the Durango unit 2 development, see attached.

Thank you,



Matt Grush, P.E.

Senior Engineer

505-924-3362

mgrush@cabq.gov

cabq.gov/planning

From: Jeremy Shell <Jeremy.Shell@respec.com>

Sent: Wednesday, October 5, 2022 11:57 AM

To: Armijo, Ernest M. <earmijo@cabq.gov>; Grush, Matthew P. <mgrush@cabq.gov>

Cc: Work-Ryan <cartesianryan@gmail.com>

Subject: Durango Unit 2

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

[Quoted text hidden]

 **Durango Unit 2 Traffic Scoping form.pdf**
1207K

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 22, 2022

Jeremy Shell
RESPEC
5971 Jefferson St. NE Ste. 101
Albuquerque, NM 87113

RE: Durango Unit 1
Conceptual Grading Plan- Approved
Engineer's Stamp Date: None
Hydrology File: C09D012

Dear Mr. Shell:

PO Box 1293

Based upon the information provided in your revised submittal received 5/31/2022, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Preliminary/Final Plat and Site Plan for Subdivision.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3986 or earnmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



May 5, 2022

DURANGO UNIT 2, DRAINAGE MEMO

The purpose of this memo is to provide a drainage plan for the Durango Unit 2 subdivision.

BACKGROUND

Durango Unit 2 contains approximately 3.8 acres in the City of Albuquerque, Bernalillo County, New Mexico. Unit 2 is a phase within the Durango Subdivision located south of Woodmont Avenue at its intersection with Sunlight Peak Street. The proposed use is 22 single family residential lots. The Drainage Report for Durango at The Trails Subdivision completed by Bohannon Huston dated March 2015 should be referenced for background drainage information. There is no designated 100-year floodplain shown on the site.

EXISTING CONDITIONS

Durango Unit 2 is currently undeveloped. However, the storm drain in Weminuche Road has already been constructed with another phase. Reference CPN 800885.

DEVELOPED CONDITIONS

The drainage intention for developed conditions is to fully build out Unit 2 in accordance with the aforementioned Bohannon Huston Drainage Report. Weminuche Road will be constructed to convey runoff generated by Unit 2 and ultimately be collected by inlets that are already in place. The existing temporary ponds are no longer needed and will be filled.

Please contact me if you have any questions, comments, or require additional information upon your review.

Sincerely,

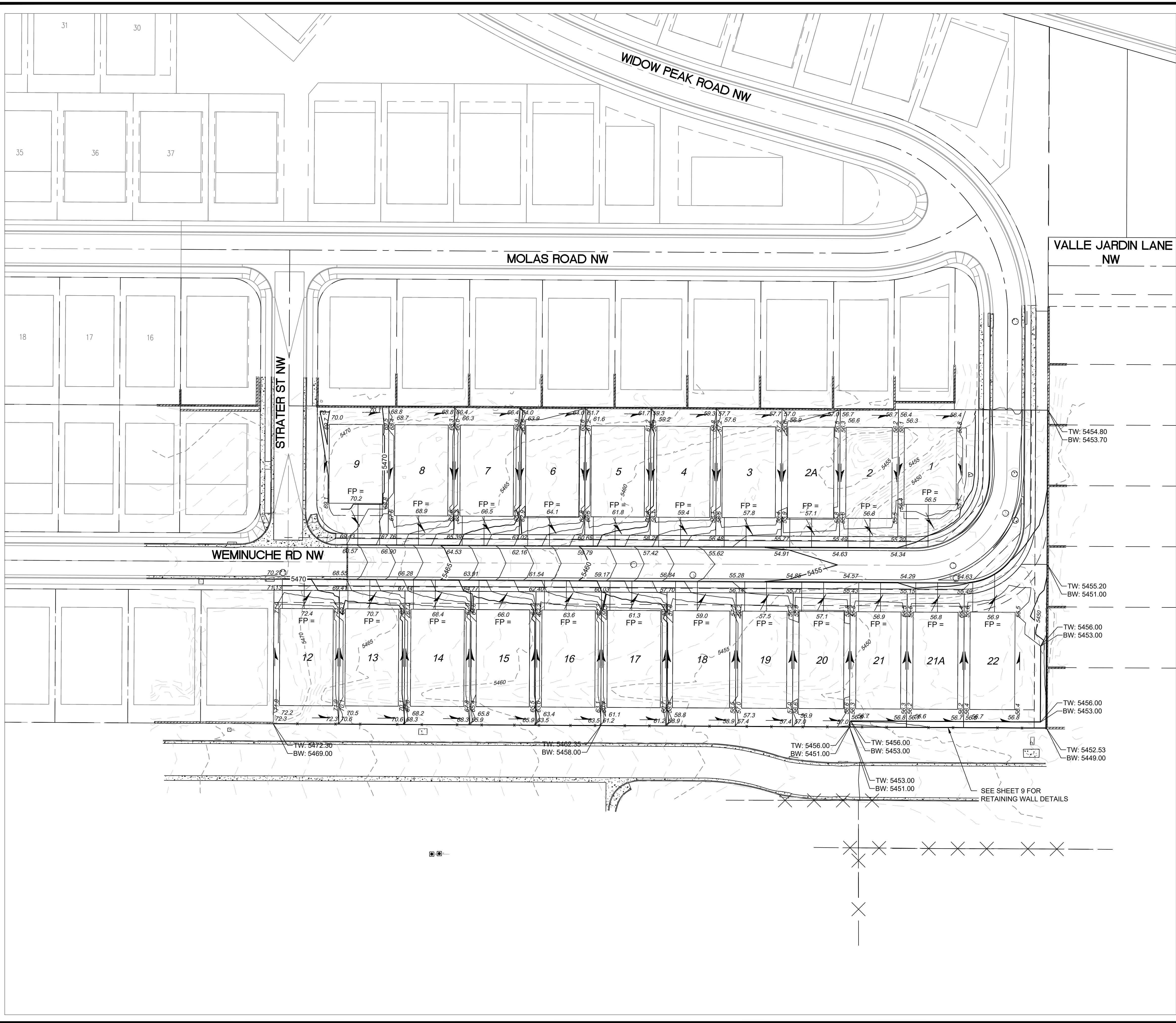
Jeremy Shell
Engineer, RESPEC, Community Design Solutions
505.253.9811

jeremy.shell@respec.com



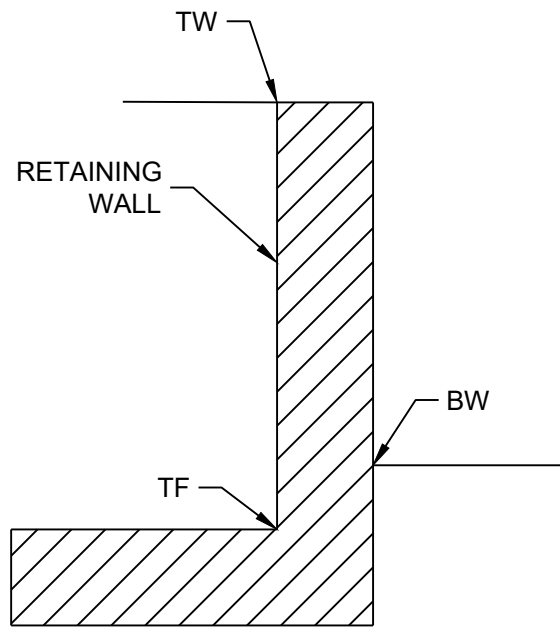
7770 JEFFERSON ST., NE
SUITE 200
ALBUQUERQUE, NM 87109
505.268.2661

NAME: N:\Projects\W0128-Sonata Green Owner\W0128.01 Durango Unit 23.DWG\Streets\Grading and Drainage Plan.dwg PLOT DATE: Mar 08, 2022 3:54pm LSB: jamie.jgill

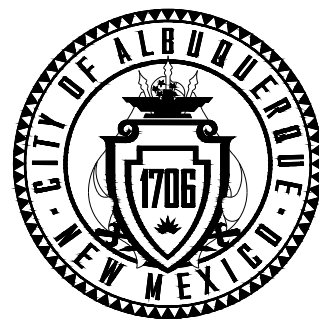
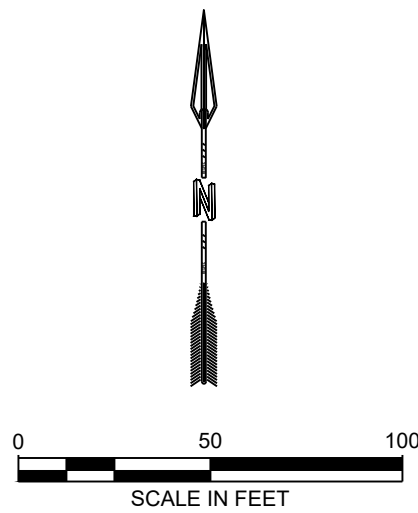


- GRADING NOTES**
1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
 2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
 3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
 4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
 5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
 6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS..

- LEGEND**
- GRADING LIMITS
MAJOR CONTOUR
MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
SLOPE ARROW
RETAINING WALL
- 4985 —
- - 4985 - -
- - 4985 - -
-1.5% -51.2%



WALL SPOT LEGEND



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION
DURANGO UNIT 2
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.

C-09-Z

CITY PROJECT NO.

PROJECT #

SHEET NO.

3

CONSULTANTS



BENCH MARKS

XXXXXXXXXXXX

SEAL

60% REVIEW

PRELIMINARY
NOT FOR CONSTRUCTION
3.2022

BY

DESCRIPTION

CONTRACTOR

NO.

DATE

AS-BUILT INFORMATION

WORK STAKED BY:

INSPECTOR'S ACCEPTANCE BY:

FIELD VERIFICATION BY:

DRAWINGS CORRECTED BY:

DATE:

DATE:

DATE:

DATE:

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DEVELOPMENT REVIEW BOARD

Agenda

ONLINE ZOOM MEETING

May 25, 2022

Jolene Wolfley..... DRB Chair
Jeanne Wolfenbarger Transportation
Blaine Carter..... Water Authority
Ernest Armijo.Hydrology
Jeff Palmer.....Code Enforcement
Cheryl Somerfeldt.....Parks and Rec

Angela Gomez ~ DRB Administrative Assistant

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: DEFERRAL OF CASES WILL BE ANNOUNCED AT THE BEGINNING OF THE AGENDA.

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW. PER THE DRB RULES OF PROCEDURE, AN INDEFINITE DEFERRAL REQUIRES A RE-APPLICATION AND REPAYMENT OF ALL APPLICATION FEES.

NOTE: CLICK ON THE BLUE HIGHLIGHTED PROJECT # LINK TO ACCESS THE CASE. (Place mouse over hyperlink, right-click, choose "open hyperlink")

A. Call to Order: 9:00 A.M.

B. Changes and/or Additions to the Agenda

a. Motion to amend the rules to allow a virtual meeting because of the public health emergency.

b. Remote Meeting Information:

Join Zoom Meeting:

<https://cabq.zoom.us/j/81711919604> (Place mouse over hyperlink, right-click, choose "open hyperlink")

Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

MAJOR CASES

1. PR-2019-001948

SD-2022-00071 – VACATION OF RIGHT OF WAY - DRB

SD-2022-00063– VACATION OF PUBLIC EASEMENT

SD-2022-00064 – PRELIMINARY/FINAL PLAT

THE GROUP | RON HENSLEY agent for **NAZISH LLC** requests the aforementioned action(s) for all or a portion of: **TRACT A, PLAN OF PRIMA ENTRADA** zoned **PC**, located on **SONTERRO between 94TH and MIRASOL AVE** containing approximately **0.71 acre(s)**. **(H-9)**

PROPERTY OWNERS: NAZISH LLC

REQUEST: VACATION OF ROW - DRB, VACATION OF PUBLIC EASEMENT, PRELIMINARY/FINAL PLAT

2.

PR-2021-006336

SI-2021-02091 – SITE PLAN

TIERRA WEST, LLC - VINCE CARRICA agent for **DENNIS ROMERO** requests the aforementioned action(s) for all or a portion of: **LOT 1, BLOCK 3 TOWN OF ATRISCO GRANT** zoned **NR-BP**, located on **10320 CENTRAL AVE SW between CENTRAL AVE and SUNSET GARDENS** containing approximately **4.0** acre(s). **(L-08)** [Deferred from 1/5/22, 1/19/22, 1/26/22, 3/2/22, 3/9/22, 3/30/2, 4/13/22, 4/27/22, 5/4/22, 5/18/25]

PROPERTY OWNERS: DENNIS ROMERO

REQUEST: DRB SITE PLAN FOR SELF STORAGE FACILITY

SKETCH PLANS – TO BE HEARD AT 9:00 AM FOLLOWING MAJOR CASES

3.

PR-2019-001996

PS-2022-00105 – SKETCH PLAN



CSI – CARTESIAN SURVEYS, INC. agent for **SONATA GREEN OWNER, LLC** requests the aforementioned action(s) for all or a portion of: **TRACT G and TRACT D, UNITS 1 & 3, DURANGO SUBDIVISION** zoned **PD; R-1B**, located on **STRATER ST NW near WEMINUCHE RD NW** containing approximately **3.8065** acre(s). **(C-09)**

PROPERTY OWNERS: SONATA GREEN OWNER LLC ATTN: MULTIGREEN PROPERTIES LLC

REQUEST: CREATE 23 NEW LOTS FROM 2 EXISTING TRACTS, CREATE A NEW ROADWAY, GRANT EASEMENTS

4.

PR-2022-007033

PS-2022-00103 – SKETCH PLAN

CSI – CARTESIAN SURVEYS INC. agent for **1705 5TH ST PARTNERS, LLC** requests the aforementioned action(s) for all or a portion of: **LOTS 1 THRU 5, BLOCK 3, IVES ADDITION** zoned **NR-LM**, located at **1701 5TH ST NW between ASPEN AVE NW and HAINES AVE NW** containing approximately **0.3480** acre(s). **(H-14)**

PROPERTY OWNERS: 1701 5TH STREET PARTNERS LLC

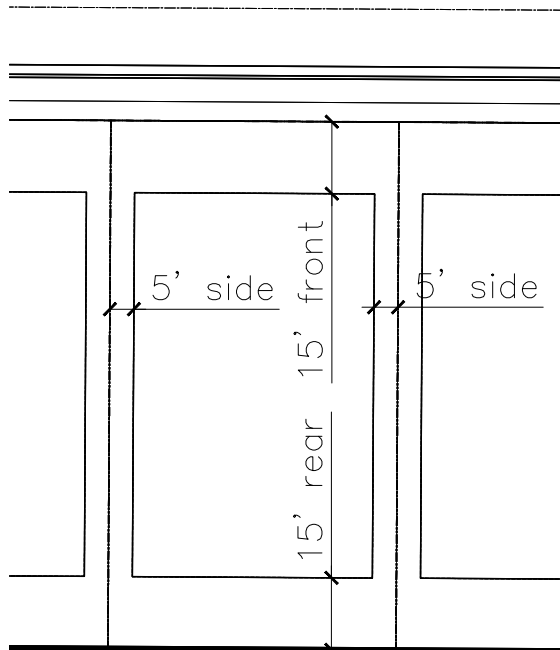
REQUEST: CREATE ONE NEW LOT FROM FIVE EXISTING LOTS

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



Technical drawing of a wall sign for 'DURANGO'. The sign is composed of two main sections: a brick-patterned section on the left and a smooth stucco section on the right. The total width is 14'-6" and the total height is 6'-0". The brick section is 3' wide and 6' high. The stucco section is 10' wide and 3'-4" high. The word 'DURANGO' is mounted on the stucco section in 12" raised metal letters. The letters are 12" high and 10' wide. The sign is mounted on a wall with a brick pattern. The drawing includes dimensions for the sign and the wall, and labels for the materials and lettering.

Dimensions:

- Total Width: 14'-6"
- Total Height: 6'-0"
- Brick Section Width: 3'
- Stucco Section Width: 10'
- Stucco Section Height: 3'-4"
- Brick Section Height: 6'
- Letter Height: 12"
- Letter Width: 10'

Materials and Features:

- Smooth Stucco Finish (Warm Gray)
- 12" Raised Metal Letters
- Brick Pattern (Left Section)

SHEET 1 of 1



**Development Review Board (DRB)
Review Comments
Utility Development Section
Reviewer: Kristopher Cadena, P.E.
Phone: 505.289.3301**

DRB Project No: PR-2019-001996	Date: 05/25/2022	Item No: #3
Zone Atlas Page: C-09	Legal Description: Lot(s) TRACT G AMD TRACT D, UNITES 1 & 3, DURANGO SUBDIVISION Location: STRATER ST NW near WEMINUCHE RD NW	
Request For: PS-2022-00105 – SKETCH PLAN		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. Serviceability Letter #150214 has been executed and applies to this site. It provides the conditions for service as incorporated into Development Agreement R-15-14.
2. The applicable Development Agreement has a seven year expiration. This agreement will expire on 2/25/2023. This agreement shall either be extended or renegotiated prior to construction of Water Authority infrastructure set to occur after the expiration date.
3. Pro rata is not owed for this property.
4. Utility Plan:
 - a. Provide a utility plan that indicates the location of proposed services.
 - b. Show existing public water and public sewer mains and any associated easements on the utility plan.
 - c. Dimension the public water and public sewer easements on the utility plan.

- d. Coordinate with NM 811 to field locate and survey the existing public water and sewer infrastructure. If existing infrastructure is not within the existing easements, dedicate additional easement to provide the minimum widths over the actual pipe locations.
- 5. Infrastructure List:
 - a. The improvements required in the Serviceability Letter shall be incorporated into the infrastructure list. This includes an eight-inch public water main.

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Senior Code Enforcement Specialist
Planning Department
jppalmer@cabq.gov

DATE: 5/25/2022

AGENDA ITEM NO: 3

DRB PROJECT NUMBER:

PR-2019-001996

PS-2022-00105 – SKETCH PLAN

PROJECT NAME:

CSI- CARTESIAN SURVEYS, INC. agent for **SONATA GREEN OWNER, LLC** requests the aforementioned action(s) for all or a portion of: **TRACT G and TRACT D, UNITS 1 & 3, DURANGO SUBDIVISION zoned PD; R-1B**, located on **STRATER ST NW near WEMINUCHE RD NW** containing approximately **3.8065** acre(s). **(C-09)**

PROPERTY OWNERS: SONATA GREEN OWNER LLC ATTN: MULTIGREEN PROPERTIES LLC

REQUEST: CREATE 23 NEW LOTS FROM 2 EXISTING TRACTS, CREATE A NEW ROADWAY, GRANT EASEMENTS

COMMENTS:

1. Property is Zoned PD – Must follow approved Durango Development Plan and IDO section 2-6.
2. Must meet standards of IDO sections 5-3 Access & Connectivity and 5-4 Subdivision of Land.
3. Re-plat cannot create nonconformity to IDO or increase an existing non-conformity.
4. Property is located in VPO-2, NW Mesa Escarpment, IDO 3-6(E), and CPO-13, Volcano Mesa, IDO 3-4(N): see Development and Dimensional standards in each respective area.
5. Future Development must meet all requirements of IDO, DPM, and other adopted City regulations.

DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION
Ernest Armijo PE, Principal Engineer 924-3986 earmijo@cabq.gov

DRB Project Number: 2018-001996, 1010401 Hearing Date: 5-25-2022

Project: Durango Unit 2 Agenda Item No: 3

<input checked="" type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Amend Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology has approved rough grading plan with Engineer's stamp date of 7/31/21 (C09D012), but in reviewing the proposed plat the lot layout does not match that approved grading plan. Either the lot layout needs to be changed to match the approved plan or the grading plan needs to be changed to match the new layout

RESOLUTION/COMMENTS:

Water:

Code:

Parks:

Transportation:

Planning:

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____



DEVELOPMENT REVIEW BOARD

Parks and Recreation Department

PR-2019-001996

PS-2022-00105 – SKETCH PLAN

CSI – CARTESIAN SURVEYS, INC. agent for SONATA GREEN OWNER, LLC requests the aforementioned action(s) for all or a portion of: TRACT G and TRACT D, UNITS 1 & 3, DURANGO SUBDIVISION zoned PD; R-1B, located on STRATER ST NW near WEMINUCHE RD NW containing approximately 3.8065 acre(s). (C-09)

PROPERTY OWNERS: SONATA GREEN OWNER LLC ATTN: MULTIGREEN PROPERTIES LLC

REQUEST: CREATE 23 NEW LOTS FROM 2 EXISTING TRACTS, CREATE A NEW ROADWAY, GRANT EASEMENTS

05-25-2022

No comments for this request.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 001996
Durango Unit 2

AGENDA ITEM NO: 3

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. Include roadway sections cross-sections and a streetlight exhibit. All new roadway infrastructure and streetlighting with appurtenances shall be placed onto an infrastructure list.
2. Include sidewalk exhibit with any proposed deferred sidewalk as applicable. Deferred sidewalk shall be indicated on the infrastructure list.
3. The minimum required centerline radius for a turn is 75 feet.
4. Per the new DPM requirements, the minimum roadway width is 28 feet and is based what is needed for local streets based on ADT, the minimum right-of-way width is 48 feet, and the minimum sidewalk width is 5 feet.
5. Include Traffic Scoping Form prior to the next submittal to determine overall TIS requirements for the overall development.
6. Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.
Transportation Development
505-924-3991 or jwolfenbarger@cabq.gov

DATE: May 25, 2022

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT REVIEW BOARD

Planning - Case Comments

HEARING DATE: 5/25/22 -- **AGENDA ITEM:** #3

Project Number: PR-2019-001996

Application Number: PS-2022-00105

Project Name: 99999 STRATER ST NW – Durango development

Request:

CREATE 23 NEW LOTS FROM 2 EXISTING TRACTS, CREATE A NEW ROADWAY, GRANT EASEMENTS.

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

- Additional changes to the approved Durango development plan may require additional minor/major amendments to that plan. Proposed development appears to be part of an approved Site Plan for Subdivision from 2015.
- Where development plan is silent, project must meet all applicable standards and provisions of the IDO and the DPM. Reference IDO section 2-6 PD- Planned Development, CPO-13 and VPO-2. Development standards to R-1B would be consistent with earlier phases.
- The project and application numbers must be added to Plan sheets, prior to final sign-off from Planning. Utility signatures, AMAFCA signatures and DXF File approval from AGIS will be required for the Preliminary and/or Final Plat actions. Those signatures must be obtained and included with all submittals prior to the acceptance of that application and the placement on a DRB agenda.
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.

**(See additional comments on next page)*

- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions.
- Re-plating action cannot increase any existing nonconformity or create a new nonconformity.
- The applicant will need to work with Transportation, Hydrology, and Water Authority members on submitting the required items on Form S or P as a part of the application process and obtain the required signatures.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Robert Webb
Planning Department

DATE: 05/24/22